

CERTIFICATE OF APPROPRIATENESS

Application Date: October 4, 2023

Applicant: Toufic Halabi, agent; Nicole Lowenstein, owner

Property: 1113 Tulane St, Lots 11 & 12, Block 205, Houston Heights Subdivision. 8,800 SF Lot with a 1,024 SF wood frame house. Note, HCAD indicates the lot size as 9,240 SF.

Significance: Contributing Hipped Bungalow, circa 1910, located in the Houston Heights Historic District West.

Proposal: Alteration – Restore and rehabilitate the original house and add an approximately 2,500 SF, 2-story, addition.

The current house is approximately 1,100 SF. (The non-original additions have been approved for demolition – the total SF of these spaces is not specifically known at the time this report was drafted)

The proposed 2-story addition is separated by a hyphen connection exposing the original rear corners of the extant structure.

A separate application exists for a 516 SF detached garage with garage apartment.

Public Comment: None

Civic Association: No comment received.

Recommendation: Approval w/condition that the existing windows and bead board on the front porch be retained, as well as any extent siding on the house that is not deteriorated beyond use.

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | S - satisfies | D - does not satisfy | NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|----------------------|---|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) | The proposed activity must retain and preserve the historical character of the property; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) | The proposed activity must contribute to the continued availability of the property for a contemporary use; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. | |

Heights Design Guidelines

S D NA

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 8,800 SF
Max. Allowed: 3,340 SF
Proposed Lot Coverage: 2,929 SF

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

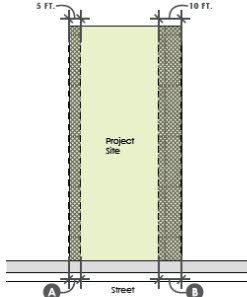
Existing Lot Size: 8,800 SF
Max. FAR Allowed: 3,520 SF
Proposed FAR: 3,507 SF

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Meets

Side Setbacks (Addition and New Construction)



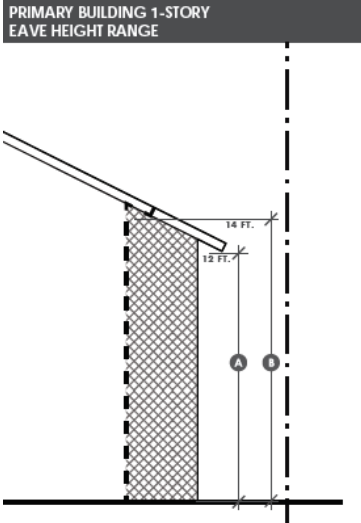
Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (north): 7'
 Proposed side setback (south): 17'-0 3/8"
 Cumulative side setback: approx. 23'- 10"

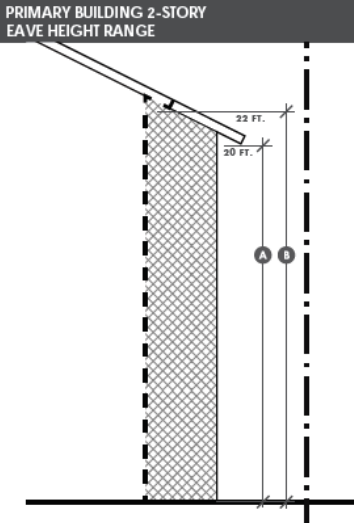
Eave Height (Addition and New Construction)

**PRIMARY BUILDING 1-STORY
EAVE HEIGHT RANGE**



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

**PRIMARY BUILDING 2-STORY
EAVE HEIGHT RANGE**



KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 22'

HEIGHTS DESIGN GUIDELINES

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



PROPERTY LOCATION
HOUSTON HEIGHTS WEST HISTORIC DISTRICT



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO

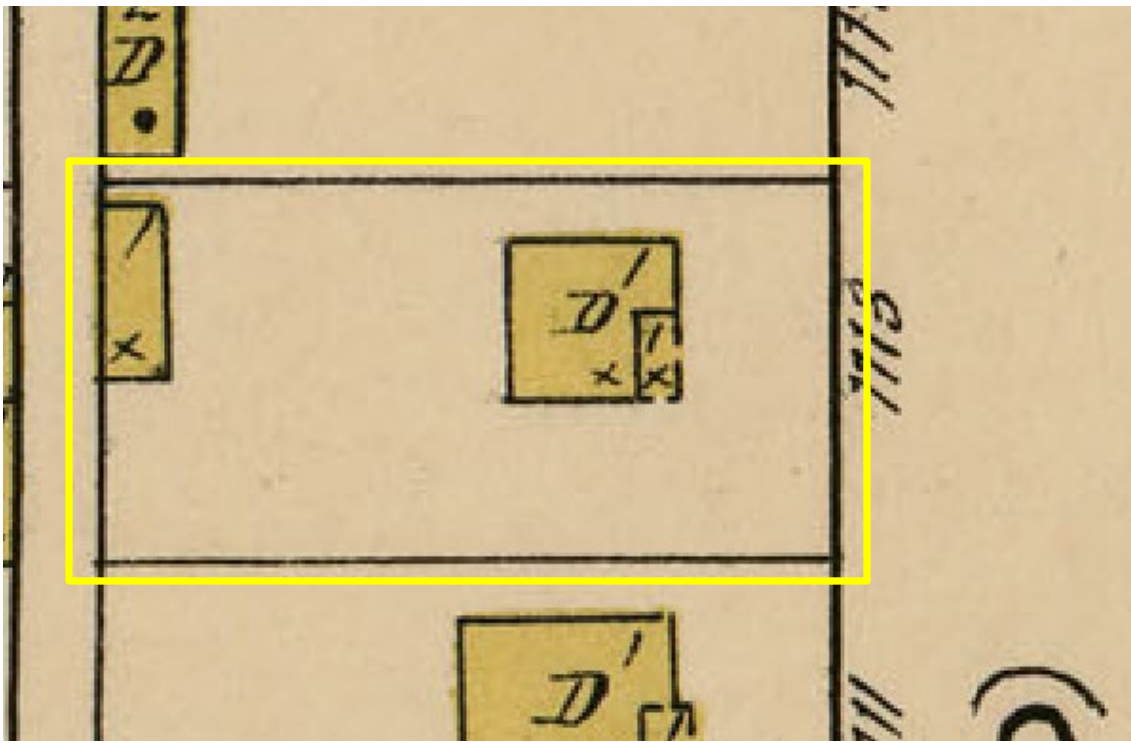


10/9/2023

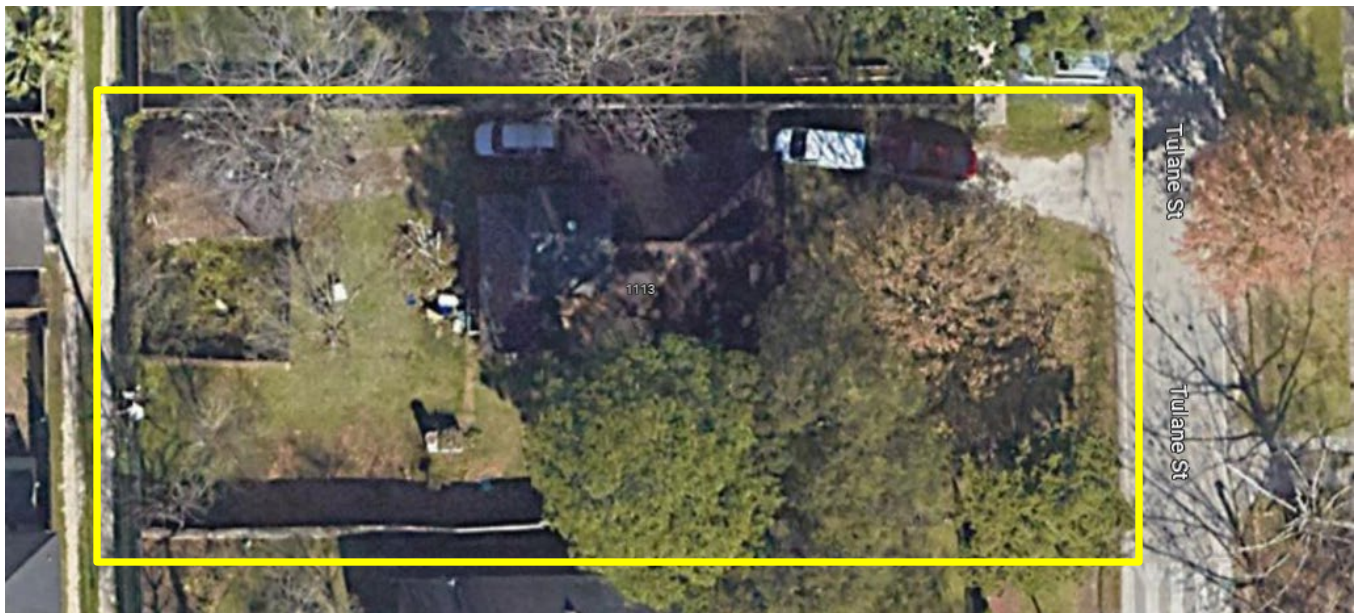
6 OF 18

Figure 1 - Summer 2023 Image

SANBORN MAP



EXISTING GOOGLE MAP



TAX RECORDS 1968

1st 39.
126.
532.
72.
84.
853.

2ND 165.
24.
24.
213.

UNC
GAR
18 396⁰
22

anno 49-072-00-003-3

5000
x 2.50 City factor
12,500 = new 100% mkt value for 1978

Co. 32% = 4,000

EXISTING APPRAISALS, if any -
100% Value - without depreciation-\$ _____

Dep.-Ph. 50% Fu. % Ec. \$\$\$ _____

NEW APPRAISALS

1st 853. area	460	\$ 3920.
2ND 213.	280	600.
OP 124.	120	150.
SP 156.	250	390.
GP 192.	370	710.
Gar 396.	120	480.
		6250.
Less 50%		3130.
		3120.

old 100% SF @ \$6.250 \$ 6.8 = \$5000

name & date
Appraiser's name & date
V. Poffenberger
1-29-68

TOTAL VALUE \$ 3120.
FOR 19 69 100% \$ 1250.
529. 1660

Yr. Built _____ Depr. _____
A/C&C/H@ \$ _____ Total Unit @ \$ _____

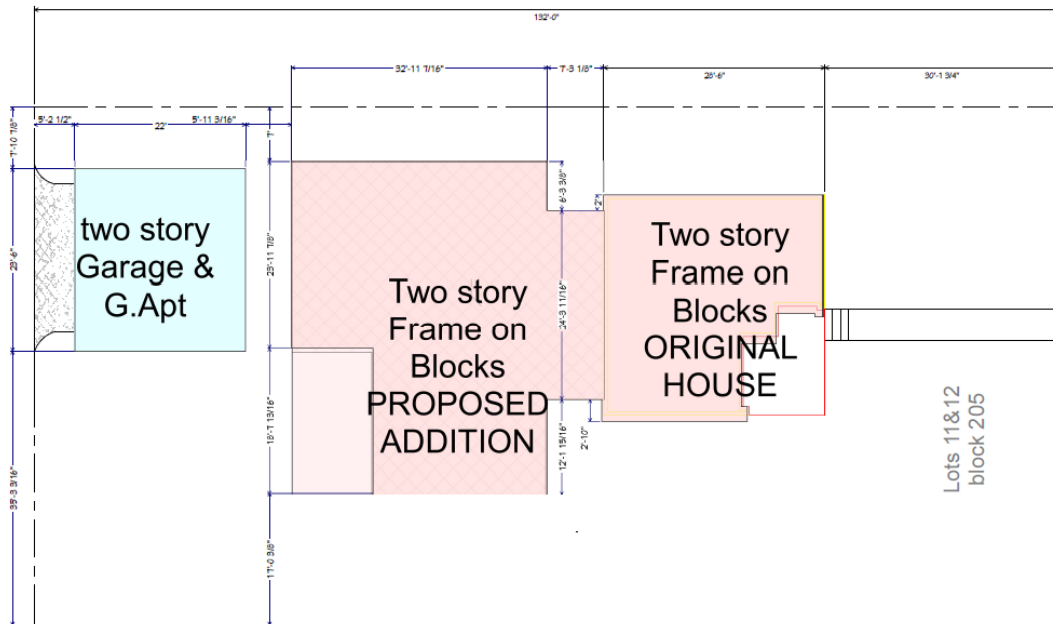
Total 100% Value \$ 5000
For 19 77



Figure 2 - Staff is requesting preservation of the window on the left is presently a condition for approval.



Figure 3- The 2 images above are showing parts of home to be removed.



1113 TULANE STREET
70' R.O.W. (PORTLAND STREET
PER PLAT)

SITE ANALYSIS

LOT SIZE: 8,800 S.F.

LOT COVERAGE CALCULATIONS:

MAXIMUM ALLOWABLE LOT COVERAGE: $8,800 \times 0.38 = 3,344$ S.F.

- A= LOT AREA: 8,800 S.F.
- B = HOUSE GROUND FLOOR AREA: 2,090 S.F.
- C = PORCH AREAS: 323 S.F.
- D= DETACHED GARAGE : 516 S.F.

TOTAL LOT COVERAGE PROPOSED = 2,929 S.F.

FLOOR AREA RATIO CALCULATIONS:

MAX. FAR = $8,800 \times .40 = 3,520$ S.F.

FLOOR RATIO PROPOSED:

- A - LOT AREA: 8,800 S.F.
- B - 1ST. FLOOR AREA: 2,090 S.F.
- C - 2ND. FLOOR AREA: 1,417

TOTAL PROPOSED FAR = 3,507 S.F.

GARAGE AREA PROPOSED = 516 S.F.
PROPOSED GARAGE APARTMENT AREA - EXEMPT = 516S.F.

**PROPOSED SITE PLAN
SCALE: 1/12"=1'-0"**

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR

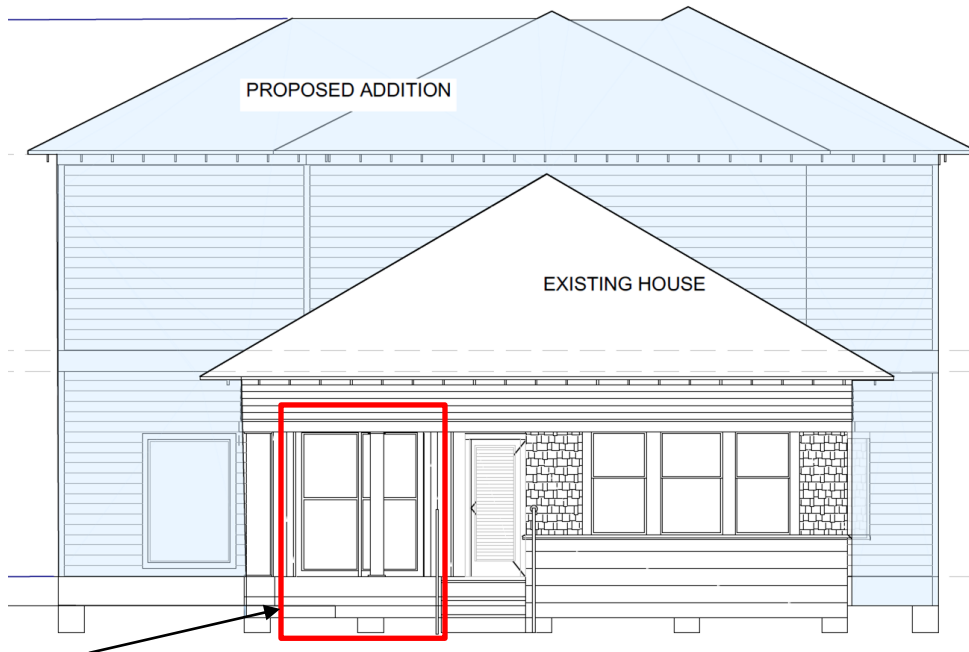
FRONT EVELATION

EXISTING



The current proportions of this bay style window to remain.

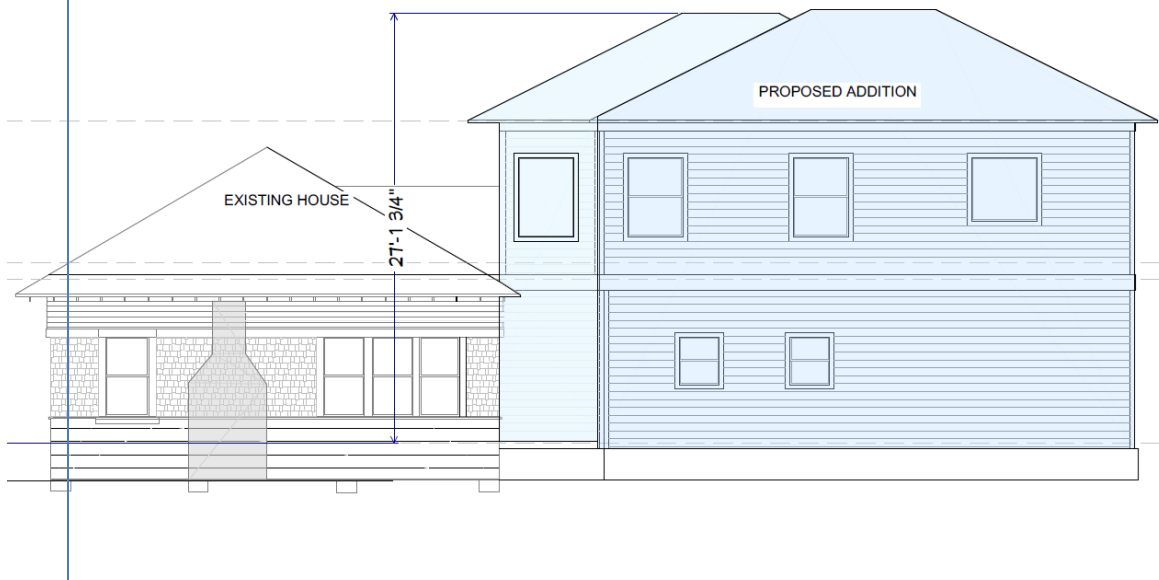
PROPOSED



Staff requesting a condition that the current window remain as part of approval.

RIGHT ELEVATION

EXISTING

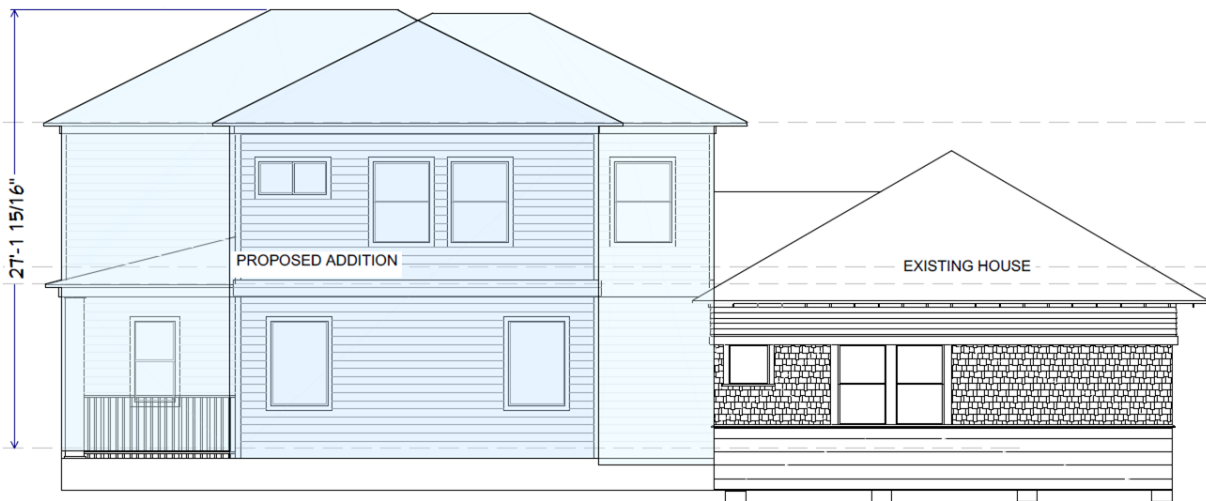


LEFT ELEVATION

EXISTING

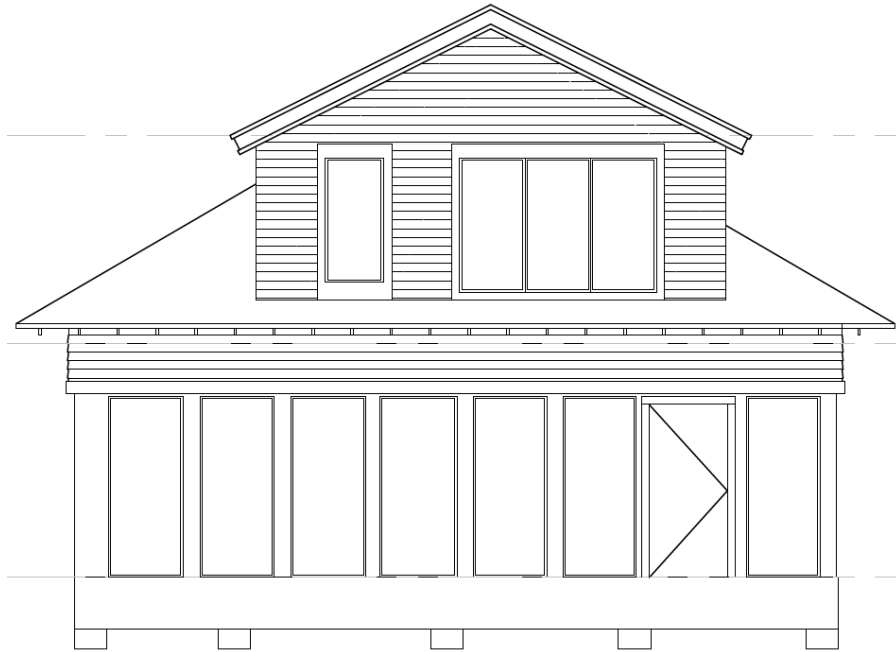


PROPOSED

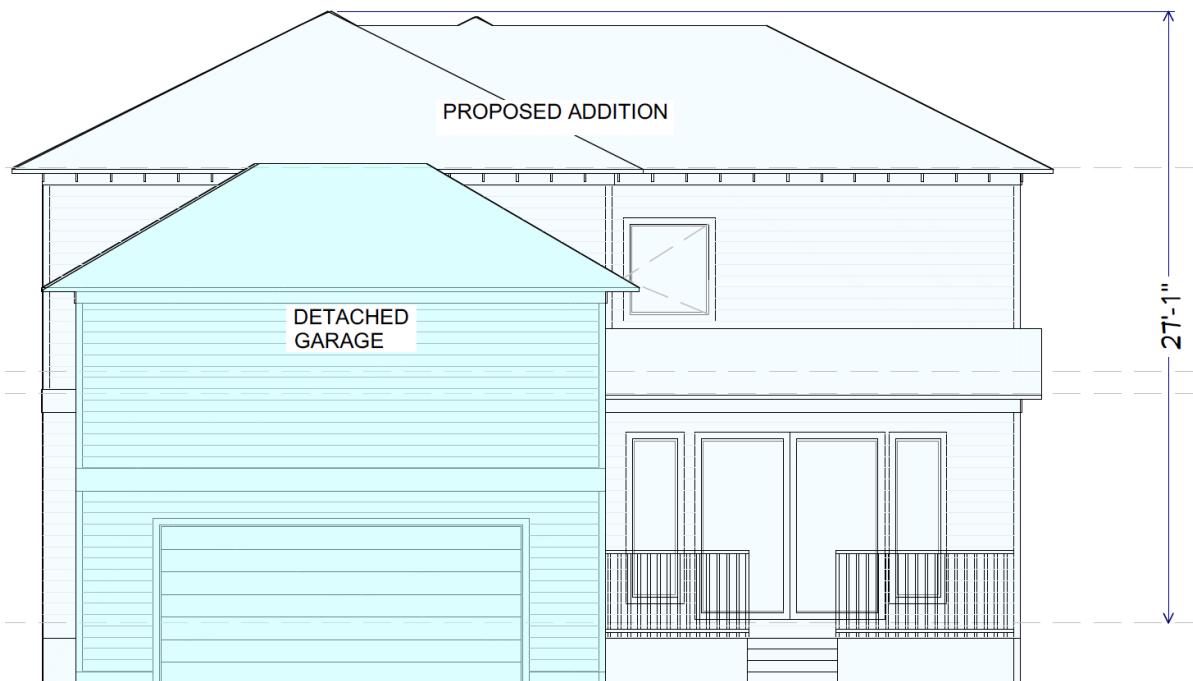


BACK ELEVATION

EXISTING

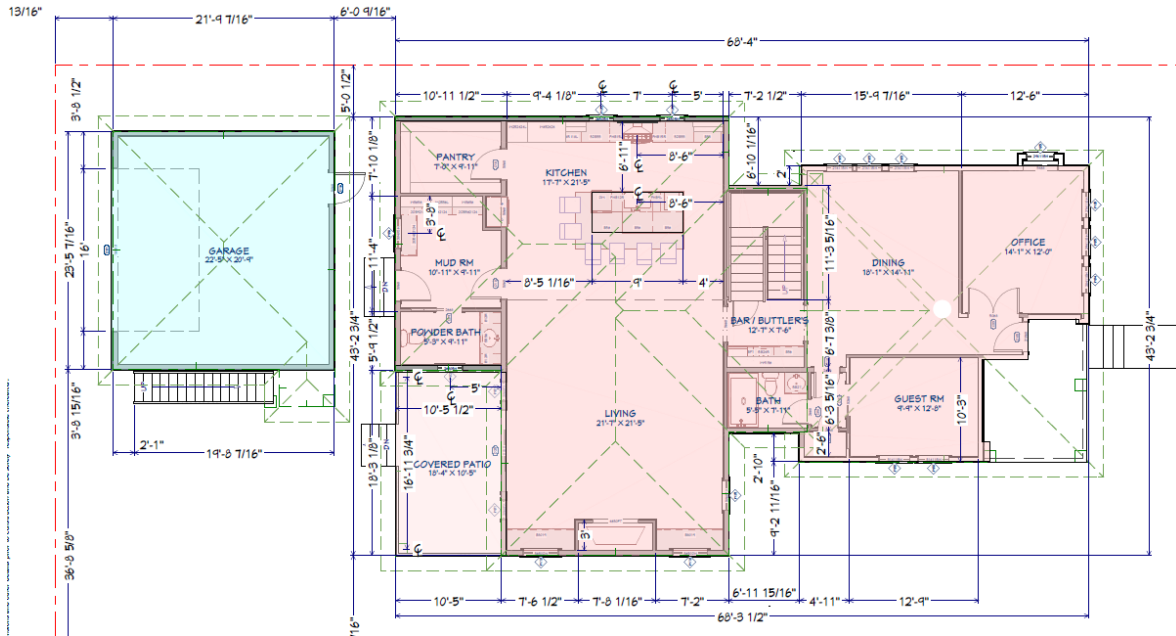


PROPOSING



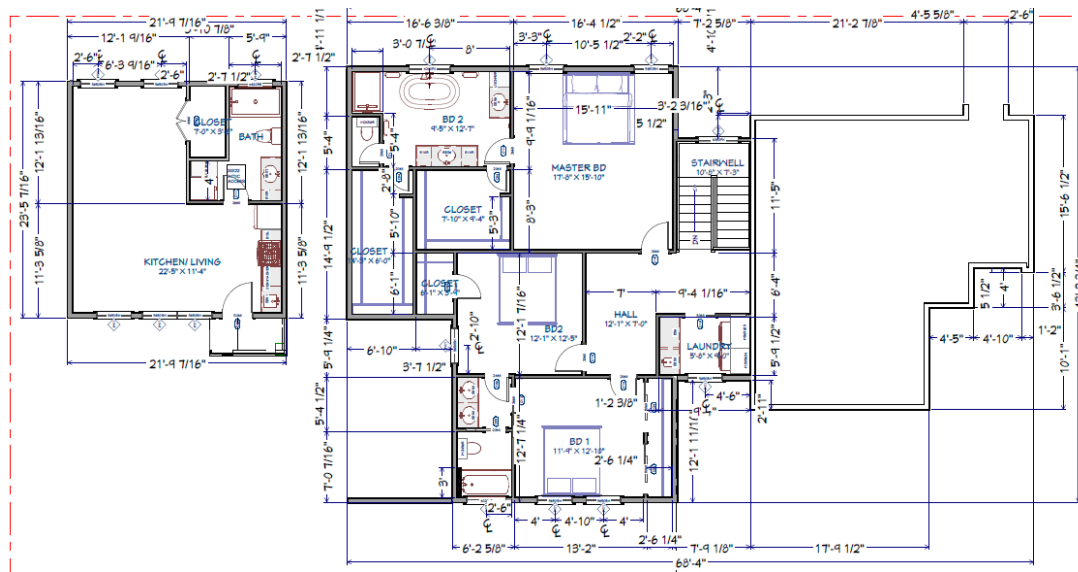
FLOOR PLAN

PROPOSED

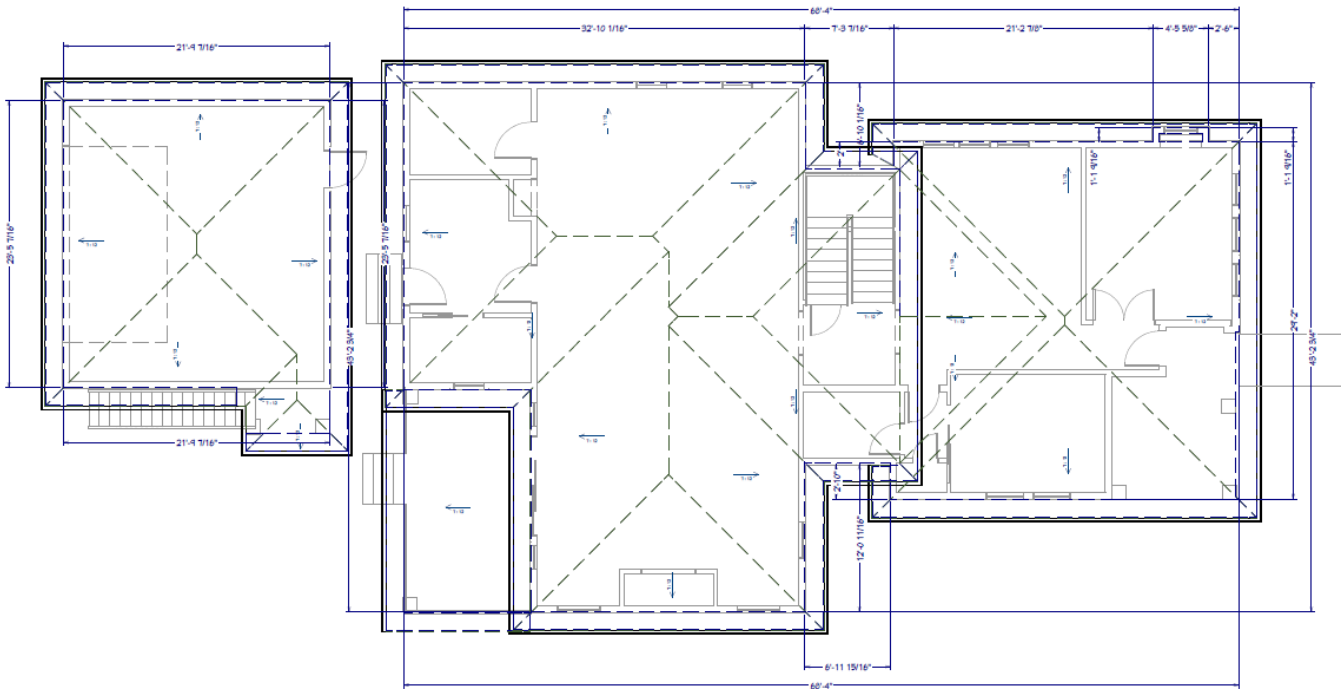


SECOND FLOOR PLAN

PROPOSED



ROOF PLAN



DOOR/WINDOW SCHEDULE

DOOR SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	TEMPERED	
D01	16080	1	1	16080	194"X99"	GARAGE-GARAGE DOOR CHD05	2X12X200" (2)		
D02	2068	1	1	2068 R IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)		
D03	2068	1	2	2068 L EX	49 1/4"X82 1/2"	EXT. POCKET-PANEL	2X6X52 1/4" (2)		
D04	2068	3	2	2068 L IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)		
D05	21068	1	1	21068 L IN	36 1/16"X82 1/2"	HINGED-GLASS PANEL	2X6X39 1/16" (2)		
D06	2468	1	2	2468 L IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)		
D07	2468	1	2	2468 R IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)		
D08	2668	1	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)		
D09	2668	1	1	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)		
D10	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)		
D11	2668	2	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)		
D12	2668	1	2	2668 R EX	61 1/4"X82 1/2"	EXT. POCKET-DOOR P04	2X6X64 1/4" (2)		
D14	2868	2	2	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)		
D15	2868	1	2	2868 R IN	34 1/4"X82 1/2"	HINGED-DOOR P04	2X6X37 1/4" (2)		
D16	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)		
D17	3068	1	1	3068 R EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)		
D18	3068	2	1	3068 L EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)		
D19	3068	1	2	3068 L	73 1/4"X82 1/2"	POCKET-DOOR P04	2X6X76 1/4" (2)		
D20	3068	1	2	3068 R IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)		
D21	3268	1	1	3268 R	77 1/4"X82 1/2"	POCKET-DOOR P04	2X6X80 1/4" (2)		
D22	4068	1	2	4068 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X53" (2)		
D23	5068	1	1	5068 L/R IN	62"X82 1/2"	DOUBLE HINGED-GLASS PANEL	2X6X65" (2)		
D24	5068	2	2	5068 R IN	62"X82 1/2"	SLIDER-DOOR P04	2X8X65" (2)		
D25	8068	1	1	8068 L IN	98"X82 1/2"	SLIDER-GLASS PANEL	2X8X101" (2)	YES	

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	HEADER	TEMPERED
W01	2068FX	2	1	2068FX	25"X81"		FIXED GLASS	2X6X28" (2)	YES
W02	2630SH	3	1	2630SH	31"X37"		SINGLE HUNG	2X6X34" (2)	
W03	27411SH	4	1	27411SH	32"X60"		SINGLE HUNG	2X6X35" (2)	
W04	28411SH	1	1	28411SH	33"X60"		SINGLE HUNG	2X6X36" (2)	
W05	29411SH	2	1	29411SH	34"X60"		SINGLE HUNG	2X6X37" (2)	
W06	3040SH	1	1	3040SH	37"X49"		SINGLE HUNG	2X6X40" (2)	YES
W07	3060FX	1	1	3060FX	37"X73"		FIXED GLASS	2X6X40" (2)	
W08	31411SH	2	1	31411SH	38"X60"		SINGLE HUNG	2X6X41" (2)	
W09	3620RS	1	2	3620RS	43"X25"		RIGHT SLIDING	2X6X46" (2)	YES
W10	3650DH	2	1	3650DH	43"X61"		DOUBLE HUNG	2X6X46" (2)	YES
W11	3650SH	11	2	3650SH	43"X61"		SINGLE HUNG	2X6X46" (2)	
W12	4020LS	1	2	4020LS	49"X25"		LEFT SLIDING	2X8X52" (2)	
W13	4060FX	1	2	4060FX	49"X73"		FIXED GLASS	2X8X52" (2)	YES
W14	4240FX	1	2	4240FX	51"X49"		FIXED GLASS	2X8X54" (2)	YES

Please see attached drawings for additional details.

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints, will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



VICINITY MAP

PROJECT LOCATION

ADOPTED CODES:

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2015 UNIFORM MECHANICAL CODE
- 2015 UNIFORM PLUMBING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 IECC

SINGLE HOME REMODELING AND ADDITION PROJECT

MISCELLANEOUS NOTES:

5/8" TYPE "X" SHEETROCK ON ALL WALLS & CEILING IN GARAGE

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE THE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH TEMPERED SAFETY GLASS.

PROVIDE ONE CARBON MONOXIDE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

*~ WINDOWS ENERGY EFFICIENT WINDOWS IN COMPLIANCE WITH IRC 2015, SECTION R 613

*~ ALL SMOKE DETECTORS SHALL COMPLY IRC 2015, R 314.3

*~ ATTIC ACCESS SHALL COMPLY IRC 2015

NOTE: DIMENSIONS ARE FROM FACE STUD TO FACE STUD. EXTERIOR DIMENSIONS ARE FROM FACE OF MATERIAL TO FACE OF MATERIAL

NOTE: DIMENSIONS AT NEW WALLS ARE FROM STUD TO STUD.

SUB-CONTRACTORS TO FIELD VERIFY AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PERFORMING THE WORK.

REFER TO DOOR AND WINDOW SCHEDULES FOR SIZES AND FIELD VERIFY BEFORE ORDERING. FOR STYLES REFER TO SELECTION SHEET.

DOORS AND WINDOW NOTES:

DOOR BETWEEN GARAGE AND HABITABLE SPACE MUST BE 20 MINUTE FIRE RESISTANCE RATED WITH CLOSER

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

INTERIOR DOORS SHALL BE PAINTED.

ATTIC NOTES:

ATTIC ACCESS APPLIANCES (PULL DOWN STAIRS) M1305.1.3 2015 IRC AMENDMENTS ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH A PULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS.

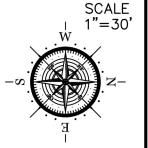
ATTIC ACCESS APPLIANCES (CATWALK) M1305.1.3 2015 IRC AMENDMENTS PROVIDE AN UNOBSTRUCTED PASSAGEWAY NO MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGE WAY FROM THE OPENING TO THE APPLIANCE WITH A MINIMUM HEADROOM HEIGHT OF 30 INCHES AND A MINIMUM WIDTH OF 30 INCHES

ATTIC ACCESS APPLIANCE (CLEARANCE) M1305.1.3 2015 IRC AMENDMENTS . A LEVEL SURFACE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

LEGEND * ITEMS THAT MAY APPEAR IN * DRAWING BELOW

A.E. = AERIAL EASEMENT	M.P. = METAL POST	P.E. = POOL EQUIPMENT	⊕ = CONTROL MONUMENT
B.L. = BUILDING LINE	M.U.E. = MUNICIPAL UTILITY EASEMENT	P.T. = POINT OF TANGENCY	● = PROPERTY CORNER
BRS = BEARS	P.A.E. = PERMANENT ACCESS EASEMENT	P.U.E. = PUBLIC UTILITY EASEMENT	○ = PROPERTY LINE
C.F.# = CLERK'S FILE NUMBER	P.C. = POINT OF CURVATURE	S.I.R. = SET IRON ROD	— = EASEMENT LINE
D.E. = DRAINAGE EASEMENT	P.O.C. = POINT OF COMPOUND CURVATURE	S.S.E. = SANITARY SEWER EASEMENT	— = BUILDING SETBACK LINE
E.E. = ELECTRIC EASEMENT	P.E. = POOL EQUIPMENT	U.T.S. = UNABLE TO SET	— = WIRE FENCE
F.I.P. = FOUND IRON PIPE	P.O.C. = POINT OF COMMENCING	U.E. = UTILITY EASEMENT	— = VINYL FENCE
F.I.R. = FOUND IRON ROD	P.O.B. = POINT OF BEGINNING	W.L.E. = WATER LINE EASEMENT	— = OVERHEAD ELECTRIC POWER LINE
FND. = FOUND	P.P. = POWER POLE	W.P. = WOODEN POST	— = BUILDING WALL
		W.S.E. = WATER & SEWER EASEMENT	

⊕ = NOT TO SCALE
 ⊕ = GUY ANCHOR
 ⊕ = POWER POLE
 ⊕ = SERVICE DROP
 S.F.N.F. = SEARCH FOR NOT FOUND

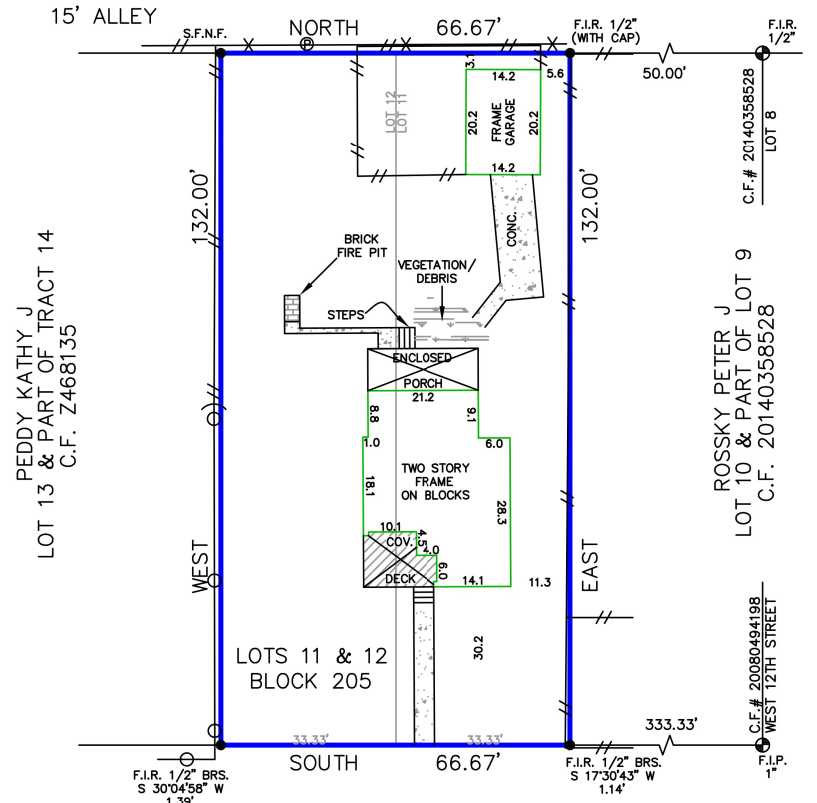


BERG WILLIAM J
LOT 24 & PART OF LOT 23
RP-2020-478788

FULCHER EVAN E
LOT 25 &
PART OF LOT 26
RP-2021-168863

EBY KRISTIN
PART OF LOT 26
C.F. 20100485149

HRUZEK JENNIFER
LOTS 27 & 28
RP-2020-478788



1113 TULANE STREET
(PORTLAND STREET PER PLAT)
(70' R.O.W.)

Reviewed & Accepted by: _____ Date _____ / _____ / _____ Date _____

NOTES:
 - BEARING BASIS: FILM CODE NO. 580238 H.C.M.R.
 - SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
 - SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY

LEGAL DESCRIPTION
 LOTS ELEVEN (11), AND TWELVE (12), IN BLOCK TWO HUNDRED FIVE (205), OF HOUSTON HEIGHTS, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1-A, PAGE 114, OF THE MAP RECORDS OF

PROPERTY SURVEY

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Design
 Construction Drawings - Permit
 Drawings
 maracadesign@gmail.com

PROJECT DESCRIPTION:
 SINGLE HOME REMODELING / ADDITION PROJECT

CLIENT:
 SWOOP PROPERTIES LLC
 1113 TULANE ST
 HOUSTON TEXAS 77008

SHEET DESCRIPTION:
 COVER SHEET

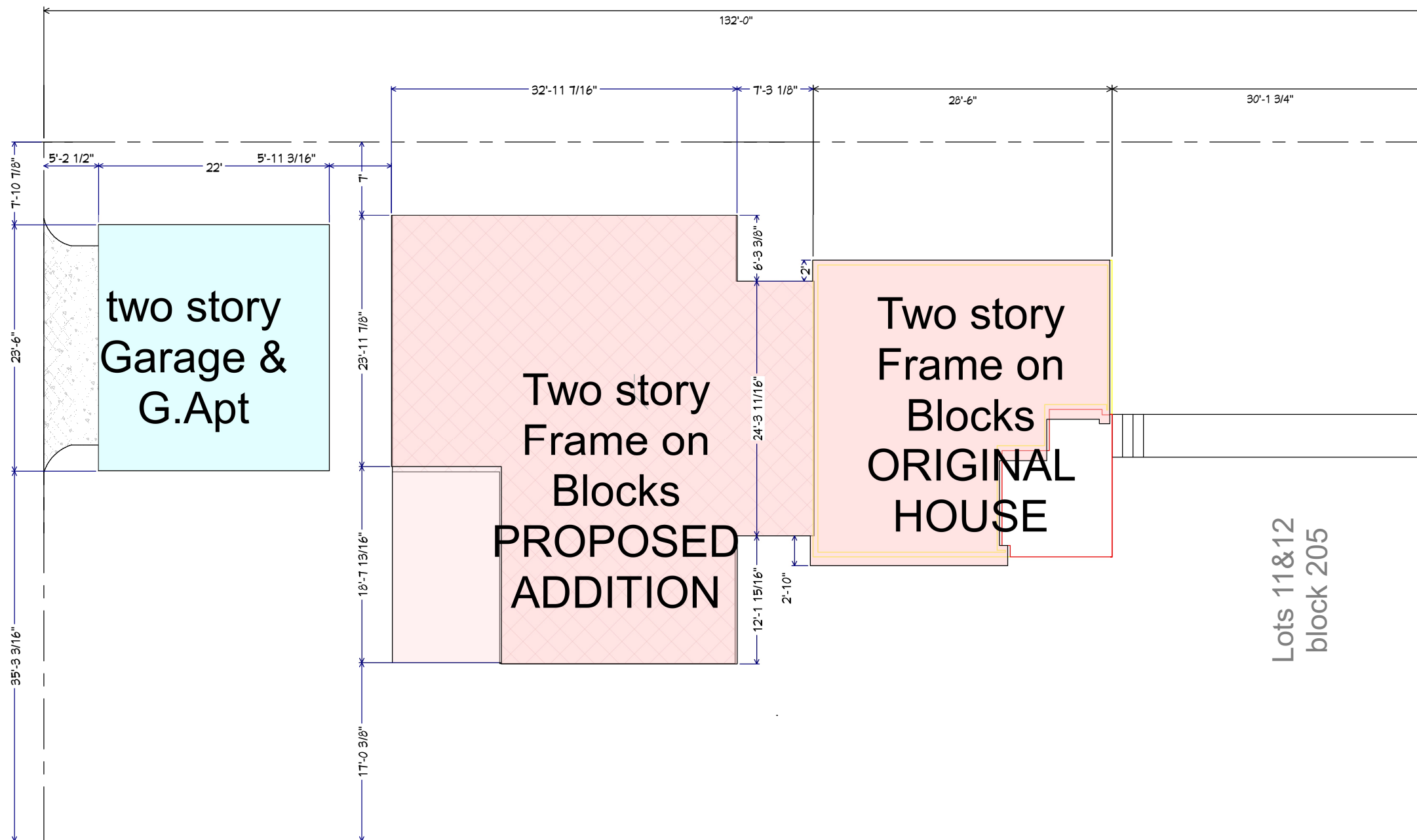
DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET: **A-1**

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



**1113 TULANE STREET
70' R.O.W. (PORTLAND STREET
PER PLAT)**

SITE ANALYSIS

LOT SIZE: 8,800 S.F.

LOT COVERAGE CALCULATIONS:

MAXIMUM ALLOWABLE LOT COVERAGE: 8,80 x 0.38 = 3,344 S.F.

A= LOT AREA: 8,800 S.F.

B = HOUSE GROUND FLOOR AREA: 2,090 S.F.

C = PORCH AREAS: 323 S.F.

D= DETACHED GARAGE : 516 S.F.

TOTAL LOT COVERAGE PROPOSED = 2,929 S.F.

FLOOR AREA RATIO CALCULATIONS:

MAX. FAR = 8,800 x .40 = 3,520 S.F.

FLOOR RATIO PROPOSED:

A - LOT AREA: 8,800 S.F.

B - 1ST. FLOOR AREA: 2,090 S.F.

C - 2ND. FLOOR AREA: 1,417

TOTAL PROPOSED FAR = 3,507 S.F.

GARAGE AREA PROPOSED = 516 S.F.

PROPOSED GARAGE APARTMENT AREA - EXEMPT = 516S.F.

**PROPOSED SITE PLAN
SCALE: 1/12"=1'-0"**



Residential Design
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:

SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:

SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

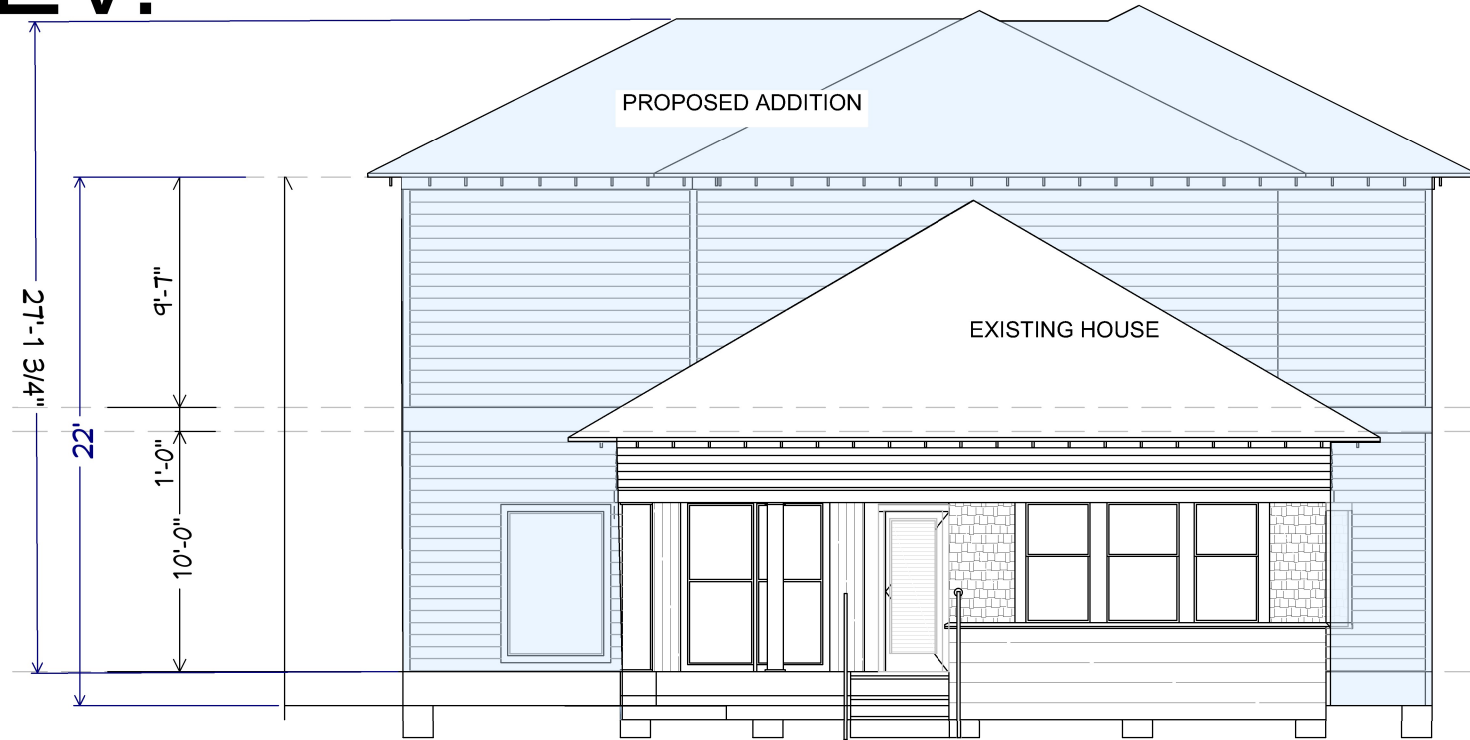
A-2

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



EXISTING FRONT ELEV.



PROPOSED FRONT

EXISTING MAIN ORIGINAL ELEMENTS
WILL REMAIN UNCHANGED.

THE DRAWINGS INTENTS TO DEPICT
THE ORIGINAL CONDITIONS OF THE
HOUSE AS POSSIBLE.

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE
AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR
DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Desing.
Construction Drawings · Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:
SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:
SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

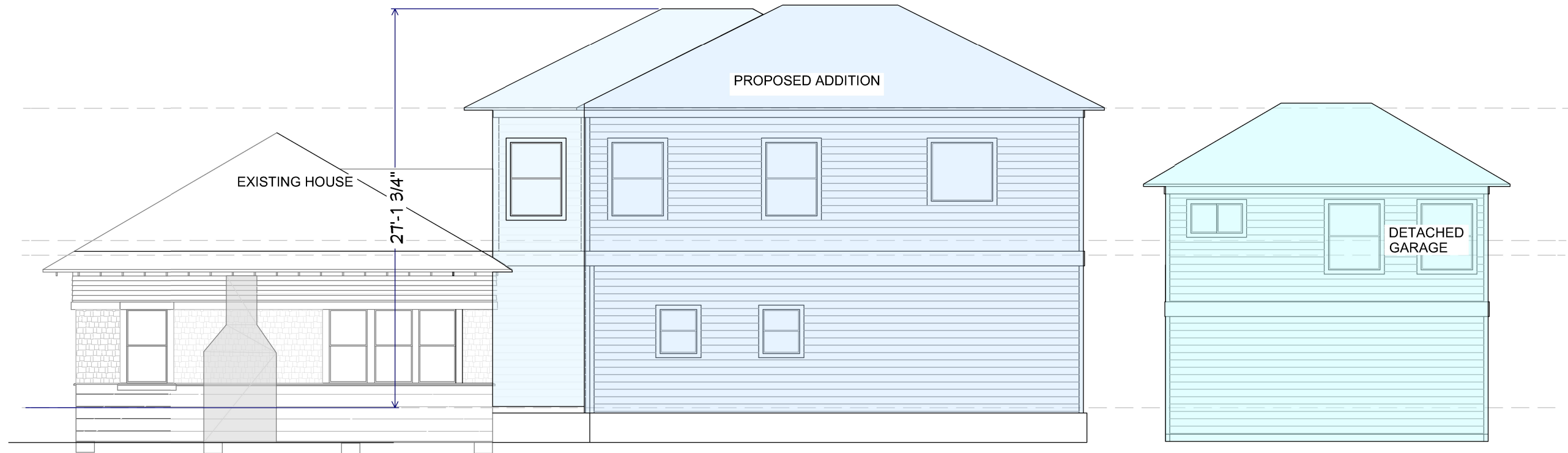
SHEET:

A-3

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints, will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



EXISTING RIGHT SIDE



EXISTING MAIN ORIGINAL ELEMENTS WILL REMAIN UNCHANGED.

THE DRAWINGS INTENTS TO DEPICT THE ORIGINAL CONDITIONS OF THE HOUSE AS POSSIBLE.

PROPOSED RIGHT SIDE

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Desing.
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:
SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:
SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

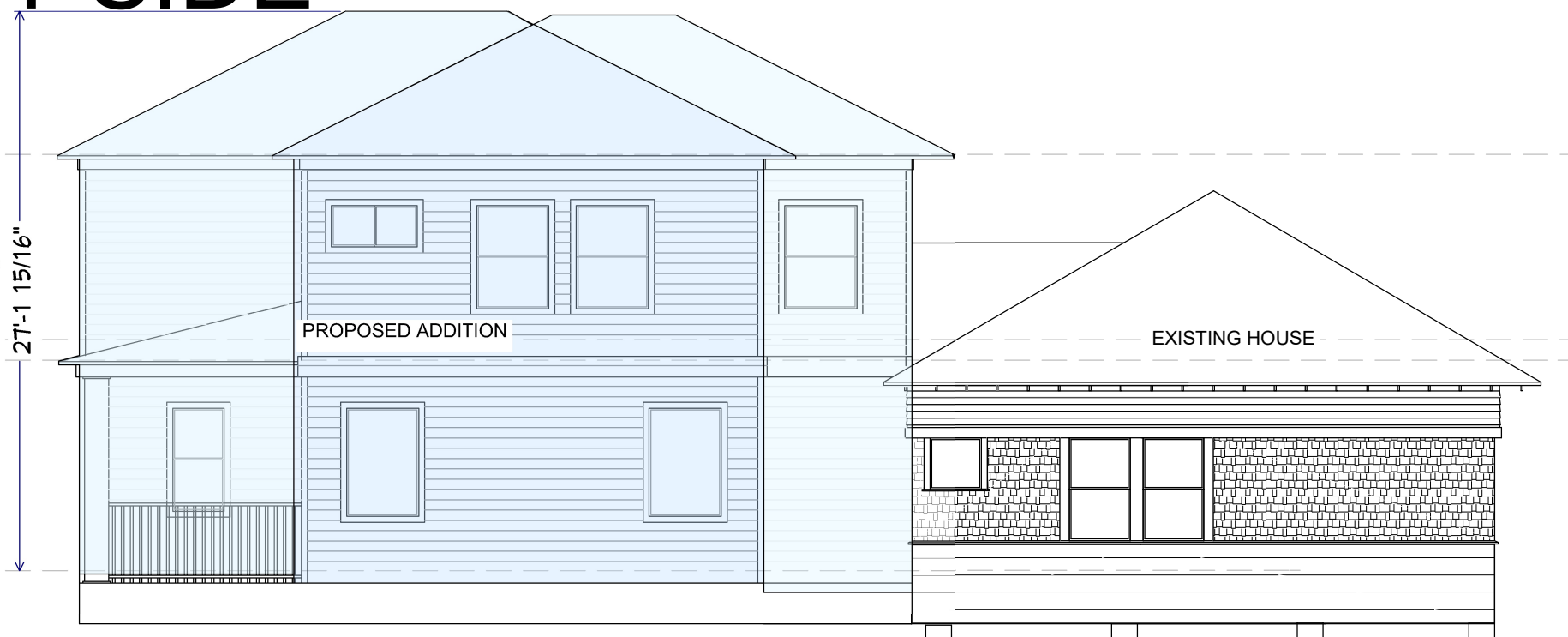
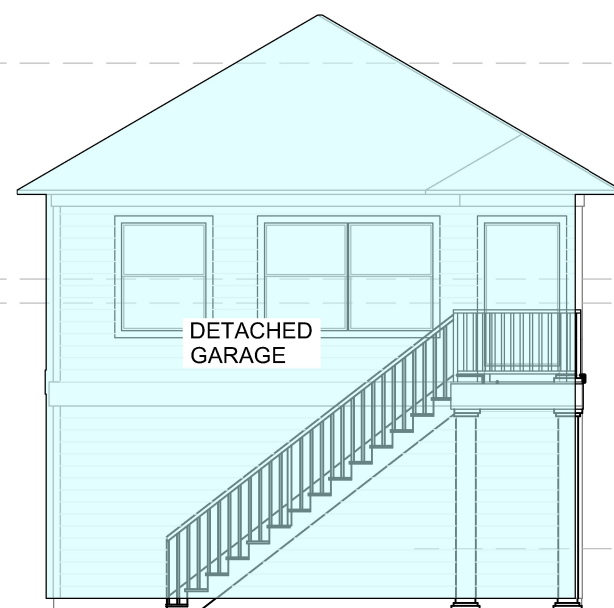
DATE: 10/6/2023
SCALE: AS SHOWN

SHEET:
A-4

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



EXISTING LEFT SIDE



PROPOSED LEFT SIDE

EXISTING MAIN ORIGINAL ELEMENTS WILL REMAIN UNCHANGED.

THE DRAWINGS INTENTS TO DEPICT THE ORIGINAL CONDITIONS OF THE HOUSE AS POSSIBLE.

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Desing .
Construction Drawings . Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:
SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:
SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRIC REVIEW

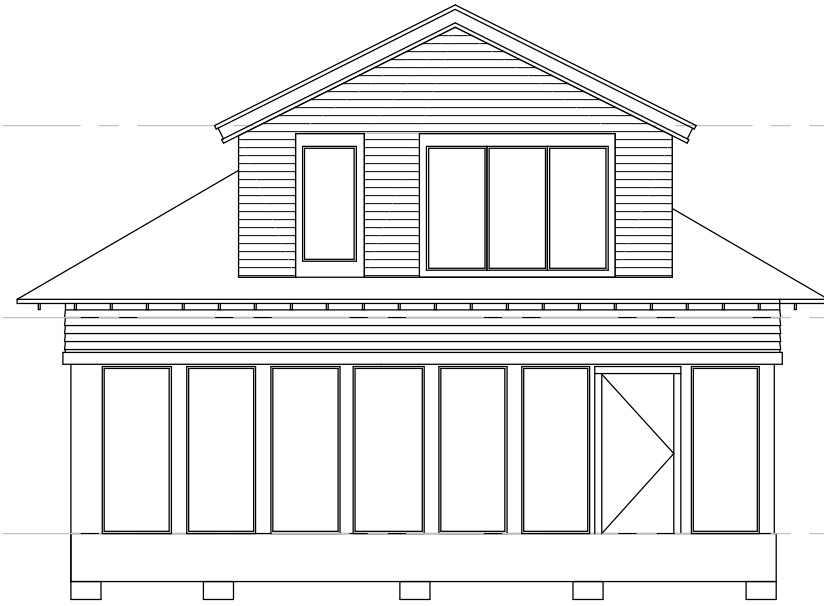
DATE: 10/6/2023

SCALE: AS SHOWN

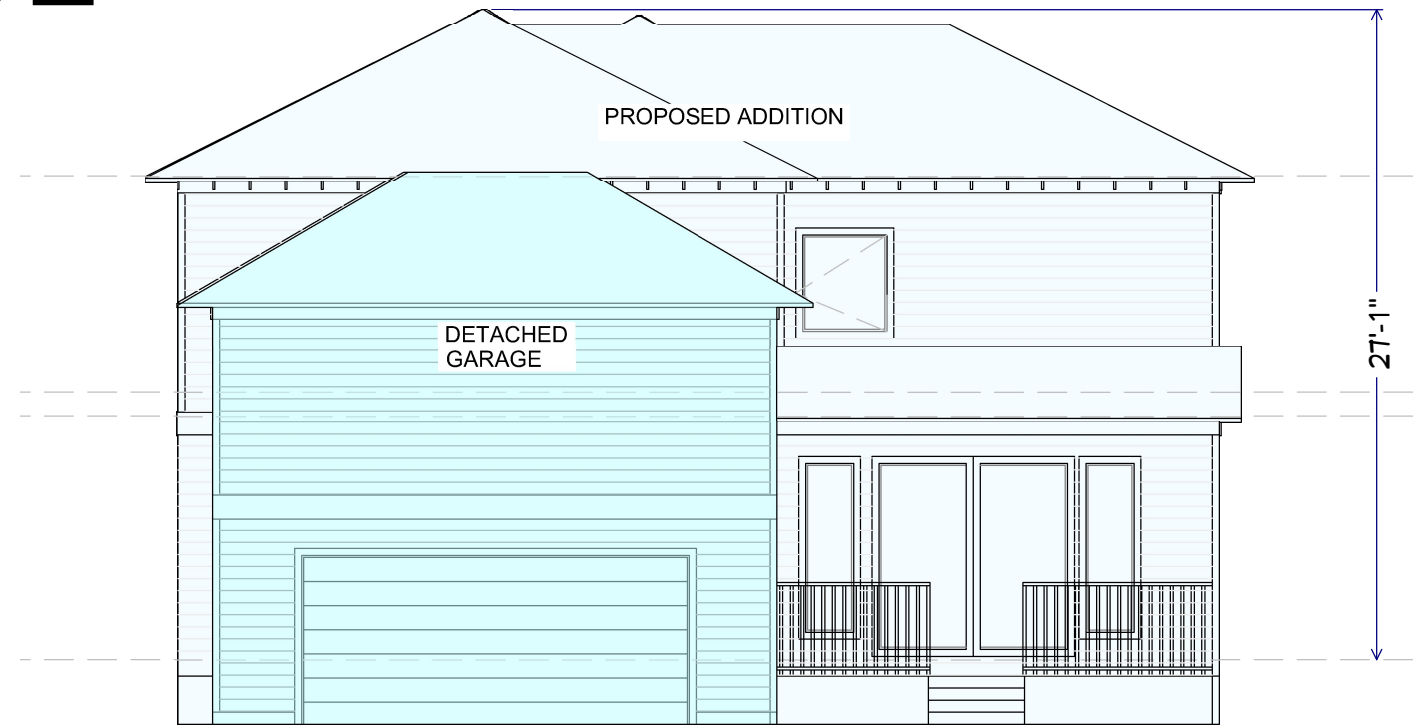
SHEET:

A-5

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



EXISTING BACK SIDE



PROPOSED BACK

EXISTING MAIN ORIGINAL ELEMENTS
WILL REMAIN UNCHANGED.

THE DRAWINGS INTENTS TO DEPICT
THE ORIGINAL CONDITIONS OF THE
HOUSE AS POSSIBLE.

** CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.*



Residential Desing.
Construction Drawings · Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:
**SINGLE HOME
REMODELING /
ADDITION PROJECT**

CLIENT:
**SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008**

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

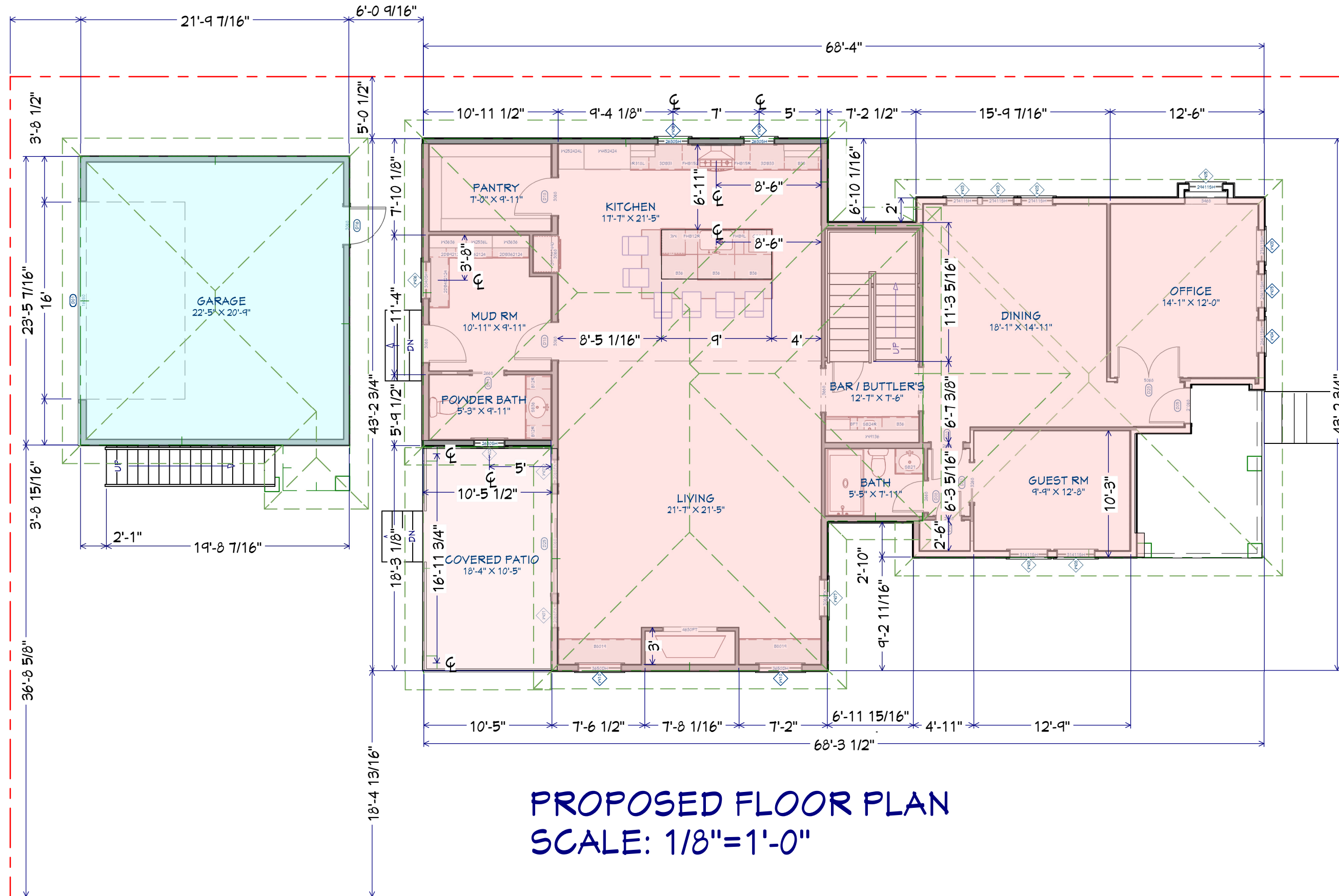
DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

A-6

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



PROPOSED FLOOR PLAN

SCALE: 1/8"=1'-0"

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Design
Construction Drawings - Permit
Drawings
maracadedesign@gmail.com

PROJECT DESCRIPTION:
**SINGLE HOME
REMODELING /
ADDITION PROJECT**

CLIENT:
**SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008**

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023
SCALE: AS SHOWN

SHEET:
A-7

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints, will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



Residential Design
Construction Drawings - Permit
Drawings
maracadedesign@gmail.com

PROJECT DESCRIPTION:
**SINGLE HOME
REMODELING /
ADDITION PROJECT**

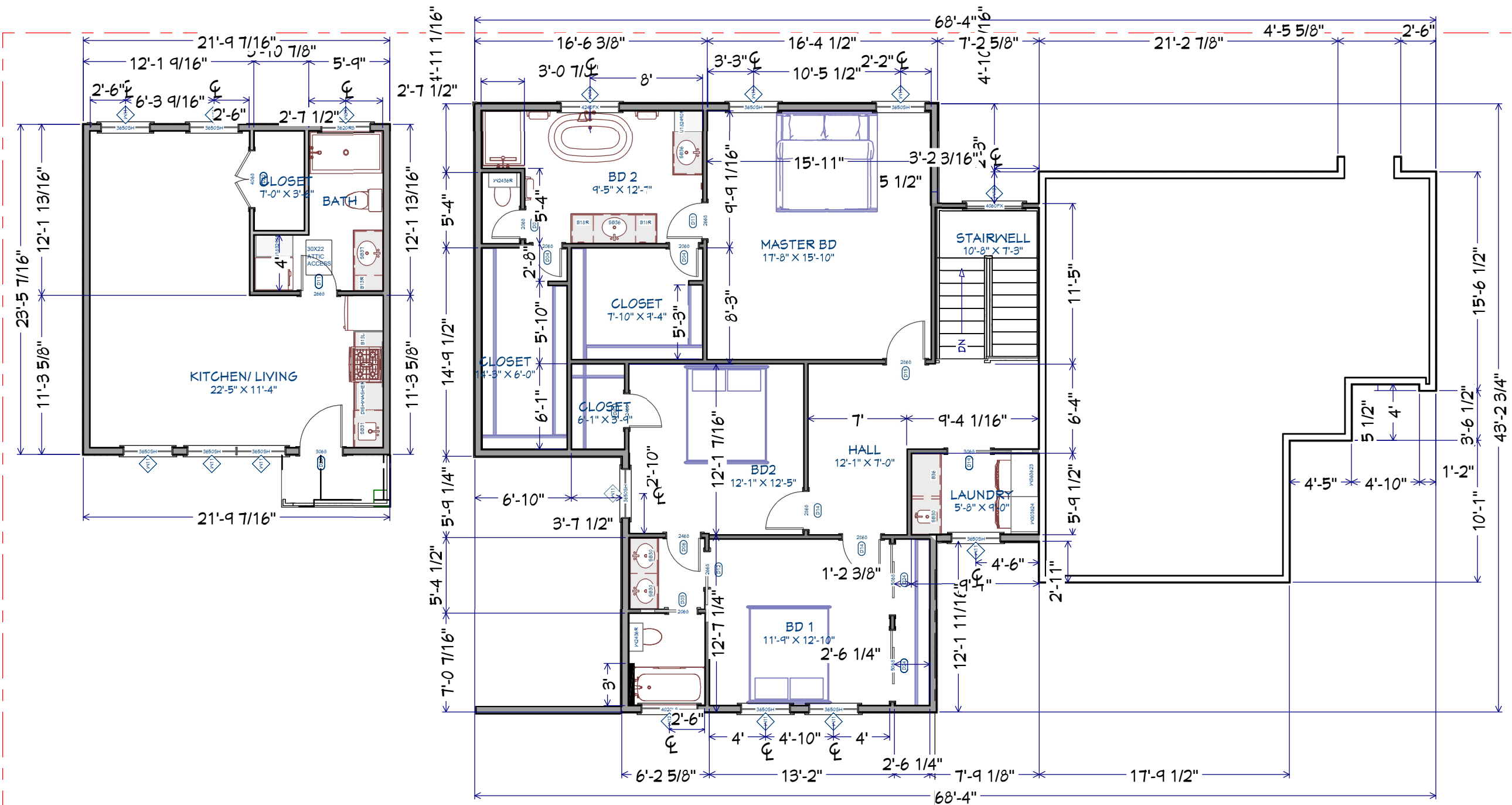
CLIENT:
**SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008**

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023
SCALE: AS SHOWN

SHEET:
A-8

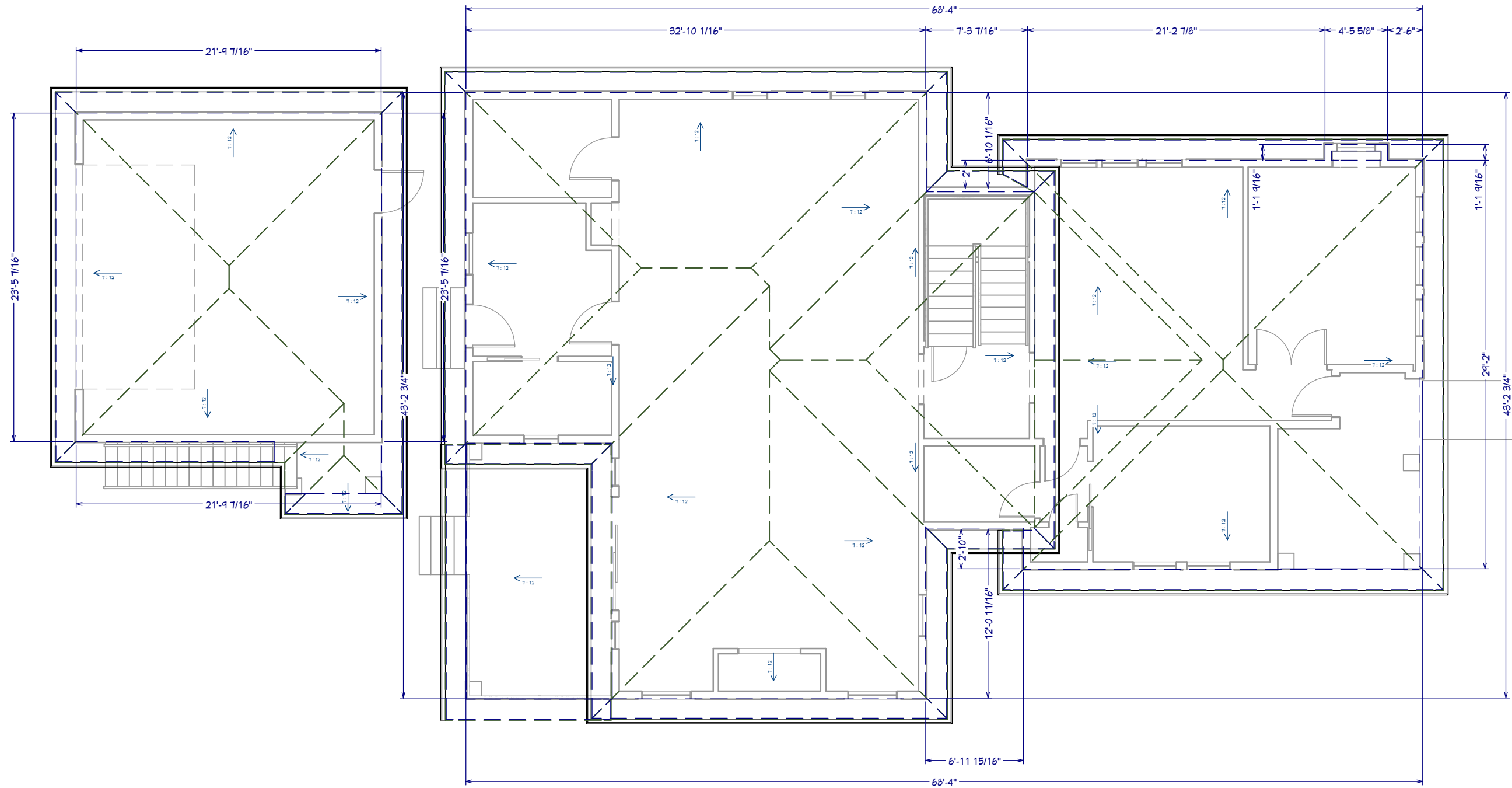


PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints, will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



Roof Plan View

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Design
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:

SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:

SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

A-9

* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints. will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

DOOR SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	TEMPERED
D01	16080	1	1	16080	194"X99"	GARAGE-GARAGE DOOR CHD05	2X12X200" (2)	
D02	2068	1	1	2068 R IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)	
D03	2068	1	2	2068 L EX	49 1/4"X82 1/2"	EXT. POCKET-PANEL	2X6X52 1/4" (2)	
D04	2068	3	2	2068 L IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)	
D05	21068	1	1	21068 L IN	36 1/16"X82 1/2"	HINGED-GLASS PANEL	2X6X39 1/16" (2)	
D06	2468	1	2	2468 L IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)	
D07	2468	1	2	2468 R IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)	
D08	2668	1	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D09	2668	1	1	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)	
D10	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D11	2668	2	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D12	2668	1	2	2668 R EX	61 1/4"X82 1/2"	EXT. POCKET-DOOR P04	2X6X64 1/4" (2)	
D14	2868	2	2	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)	
D15	2868	1	2	2868 R IN	34 1/4"X82 1/2"	HINGED-DOOR P04	2X6X37 1/4" (2)	
D16	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)	
D17	3068	1	1	3068 R EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)	
D18	3068	2	1	3068 L EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)	
D19	3068	1	2	3068 L	73 1/4"X82 1/2"	POCKET-DOOR P04	2X6X76 1/4" (2)	
D20	3068	1	2	3068 R IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)	
D21	3268	1	1	3268 R	77 1/4"X82 1/2"	POCKET-DOOR P04	2X6X80 1/4" (2)	
D22	4068	1	2	4068 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X53" (2)	
D23	5068	1	1	5068 L/R IN	62"X82 1/2"	DOUBLE HINGED-GLASS PANEL	2X6X65" (2)	
D24	5068	2	2	5068 R IN	62"X82 1/2"	SLIDER-DOOR P04	2X8X65" (2)	
D25	8068	1	1	8068 L IN	98"X82 1/2"	SLIDER-GLASS PANEL	2X8X101" (2)	YES

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	HEADER	TEMPERED
W01	2068FX	2	1	2068FX	25"X81"		FIXED GLASS	2X6X28" (2)	YES
W02	2630SH	3	1	2630SH	31"X37"		SINGLE HUNG	2X6X34" (2)	
W03	27411SH	4	1	27411SH	32"X60"		SINGLE HUNG	2X6X35" (2)	
W04	28411SH	1	1	28411SH	33"X60"		SINGLE HUNG	2X6X36" (2)	
W05	29411SH	2	1	29411SH	34"X60"		SINGLE HUNG	2X6X37" (2)	
W06	3040SH	1	1	3040SH	37"X49"		SINGLE HUNG	2X6X40" (2)	YES
W07	3060FX	1	1	3060FX	37"X73"		FIXED GLASS	2X6X40" (2)	
W08	31411SH	2	1	31411SH	38"X60"		SINGLE HUNG	2X6X41" (2)	
W09	3620RS	1	2	3620RS	43"X25"		RIGHT SLIDING	2X6X46" (2)	YES
W10	3650DH	2	1	3650DH	43"X61"		DOUBLE HUNG	2X6X46" (2)	YES
W11	3650SH	11	2	3650SH	43"X61"		SINGLE HUNG	2X6X46" (2)	
W12	4020LS	1	2	4020LS	49"X25"		LEFT SLIDING	2X8X52" (2)	
W13	4060FX	1	2	4060FX	49"X73"		FIXED GLASS	2X8X52" (2)	YES
W14	4240FX	1	2	4240FX	51"X49"		FIXED GLASS	2X8X54" (2)	YES

SCHEDULE

NEW VINYL WINDOW
TO BE SLIM
BORDERS,
INSET TO MATCH
EXISTING STYLE.



Residential Design
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:

SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:

SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST.
	DISTRIC REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

A-10

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.